



# Olive

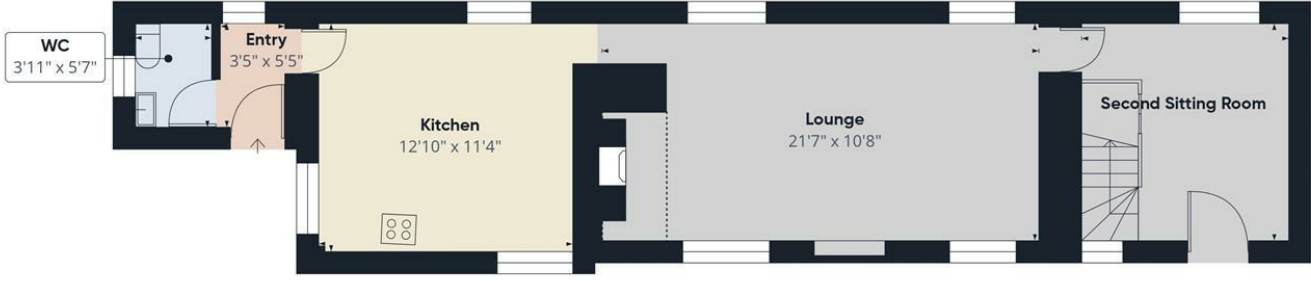
ESTATE AGENTS



## Little Ireland Cottage , Wedmore, BS28 4BJ £365,000

\*\*\* NOW REDUCED BY OVER £20,000!!!! \*\*\* SPACIOUS SEMI-DETACHED 18TH CENTURY FAMILY HOME \*\*\* APPROXIMATELY 10 MINUTES WALK TO THE VILLAGE CENTRE AND A FEW MINUTES WALK TO THE POST AND WICKET BAR \*\*\* IDEAL LOCK UP AND LEAVE COUNTRY RETREAT WITH BEAUTIFUL SURROUNDING COUNTRYSIDE \*\*\* POTENTIAL OF AT LEAST £20,000 - £25,000 P/A AIR BnB (IF FURNISHED / DECORATED CORRECTLY) \*\*\* THREE BEDROOMS \*\*\* FAMILY BATHROOM \*\*\* LIVING ROOM \*\*\* SITTING ROOM WITH FIREPLACE \*\*\* KITCHEN / BREAKFAST ROOM \*\*\* CLOAKROOM \*\*\* ON STREET PARKING \*\*\* COTTAGE GARDEN WHICH COULD ACCOMMODATE OFF STREET PARKING, SHOULD IT BE REQUIRED \*\*\* VACANT POSSESSION \*\*\* NO ONWARD CHAIN \*\*\* EPC E \*\*\* COUNCIL TAX BAND D \*\*\* FREEHOLD \*\*\*





Floor 0



Floor 1



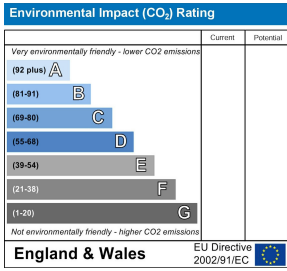
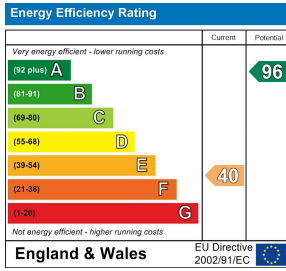
Approximate total area<sup>(1)</sup>  
1034 ft<sup>2</sup>  
Reduced headroom  
26 ft<sup>2</sup>

(1) Excluding balconies and terraces

Reduced headroom  
..... Below 5 ft

Calculations reference the RICS IPMS 3C standard. Measurements are approximate and not to scale. This floor plan is intended for illustration only.

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