



Olive

ESTATE AGENTS



Sycamore House , Stone Allerton, BS26 2NN Offers in excess of £600,000

*** OVER 2,130 SQ/FT OF SPACE / ACCOMMODATION *** FABULOUS OLD STONE OUTBUILDING PARTLY CONVERTED INTO OFFICE / HOME GYM / GAMES ROOM ETC *** RIPE FOR CONVERSION INTO AN AIR BnB OR ANNEXE ETC (SUBJECT TO THE NECESSARY PLANNING CONSENTS) *** FABULOUS PLOT WITH FRONT AND REAR GARDENS *** FRONT TO BACK KITCHEN / DINING & FAMILY ROOM *** UTILITY ROOM *** CLOAKROOM *** HALLWAY WITH STUDY AREA *** OFFICE / PLAY ROOM *** FRONT TO BACK LIVING ROOM *** FOUR BEDROOMS *** MASTER EN-SUITE *** FAMILY BATHROOM *** EPC E *** COUNCIL TAX BAND G ***

Entrance Hall

Front aspect double glazed door and a side aspect double glazed window, further doors to living room, cloakroom, understairs storage, office/rear hallway.



Cloakroom

A side aspect room with an obscure wooden double glazed window, ceiling light, laminate wooden flooring, radiator, low level WC, wash hand basin with twin taps.



Study/Second Reception Room

Double glazed French doors leading out to the main terrace and garden, ceiling light, wooden flooring, radiator, ample space for range of office or living furniture.



Sitting Room

A great sized front to back room with wooden double glazed windows, ceiling lights, wall lights, two radiators, feature stone open fireplace.



Kitchen/Dining Room

A fabulous front to back room with wooden double glazed windows, ceiling spotlights, tiled flooring, radiator, ample space for dining table and chairs. The Kitchen has been fitted with a comprehensive range of base and eye level units with granite effect rolled edge work surfaces, one and half bowl stainless steel sink with adjacent drainer and mixer tap, tiled splashbacks, space for a tall fridge/freezer, space and plumbing for dishwasher, integrated double oven, four ring induction hob, extractor hood over.



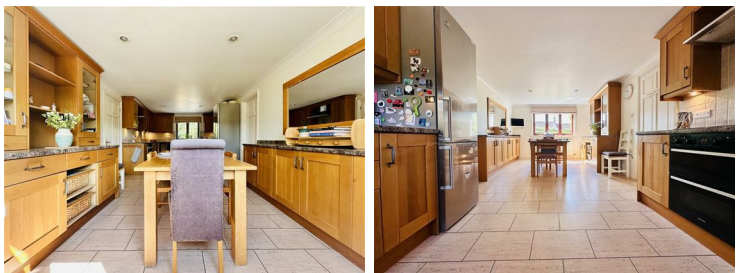
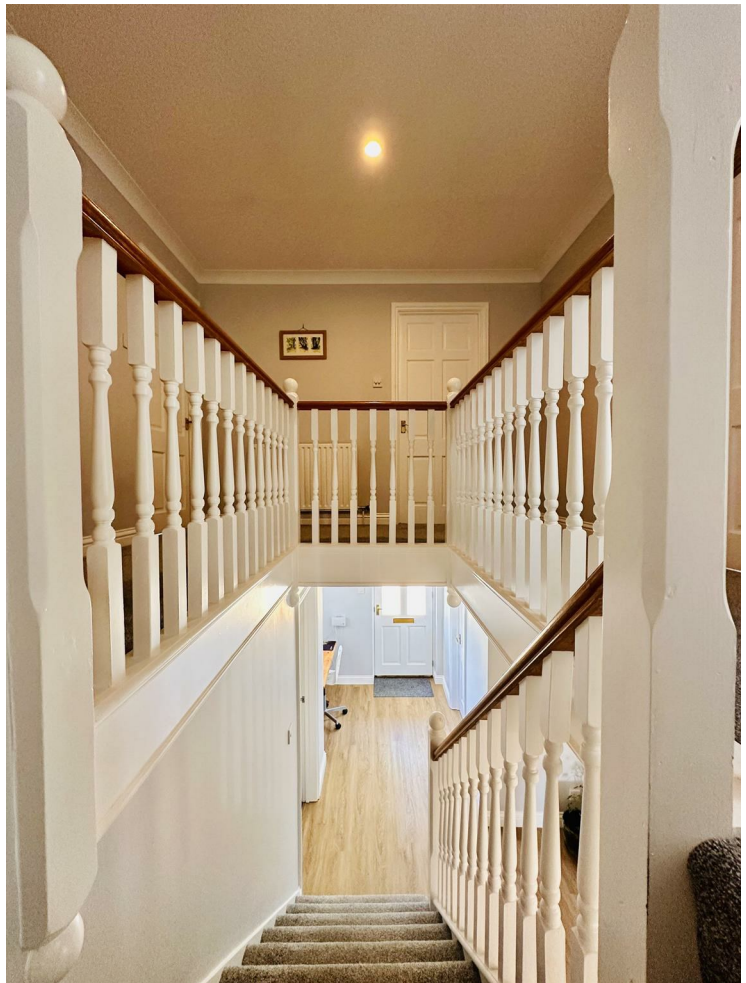
Utility

Entrance most commonly via the Utility Room. A front to back room with double glazed window to the front and wooden double glazed to the rear with ceiling light, extractor fan, tiled flooring, fitted with a range of units with granite work surface over, inset one bowl stainless steel sink with mixer tap, space for washing machine, space for tumble dryer, floor standing oil fired boiler system. Door to the kitchen/dining/family room.



Landing

A spacious gallery landing with ceiling light, loft hatch giving access to the roof space, radiator, doors to bedrooms one, two, three, four and the family bathroom.



Main Bedroom

A rear aspect room with a wooden double glaze window, ceiling light, wall lights, radiator, full height built in wardrobes, door to a large airing cupboard and a further door to the en-suite shower room.



Bedroom Two

A rear aspect room with a wooden double glazed window, ceiling light, radiator, door to a useful wardrobe.

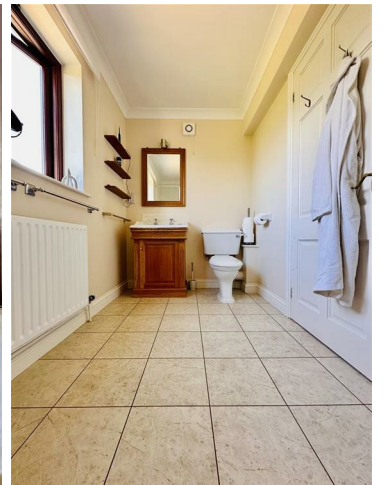
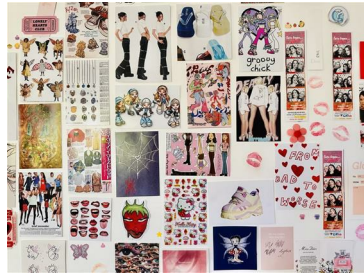


Bedroom Three

A front aspect room with a wooden double glazed window, ceiling light, radiator.

En-Suite

A rear aspect room with a obscure double glazed window, ceiling light, extractor fan, radiator, tiled effect vinyl flooring, low level wc, wash hand basin, glazed and tiled shower enclosure with a wall mounted mains shower system over.



Bedroom Four

A front aspect room with a wooden double glazed window, ceiling light, radiator, built in wardrobes.



Rear Garden

Is of a good size and mainly laid to lawn, flower shrub borders throughout.



Family Bathroom

A front aspect room with a obscure double glazed window, ceiling light, extractor fan, radiator, vinyl flooring, wash hand basin, low level wc, panel enclosed bath with tiled surround, shower curtain, chrome mixer tap with hand held shower attachment over.



Front Garden

A good sized garden and a large patio/paved terraced area, garden leads around by the outbuilding, and has range of flower and shrub borders throughout.

Home Office/Gym/Entertaining Room

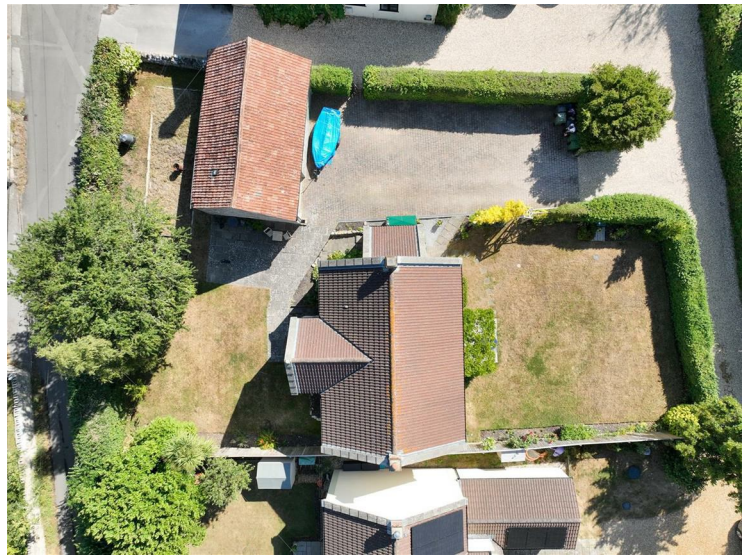
One of the main selling features of this property is the old stone built barn, currently split into two sides, could be home office or entertainment, single glazed windows, wooden double glazed pedestrian door. Power and lighting, and a roof access. The right hand side of the barn is being used as a workshop/store room, with power and lighting. This barn would make an amazing air b&b/annexe subject to the necessary planning consents.



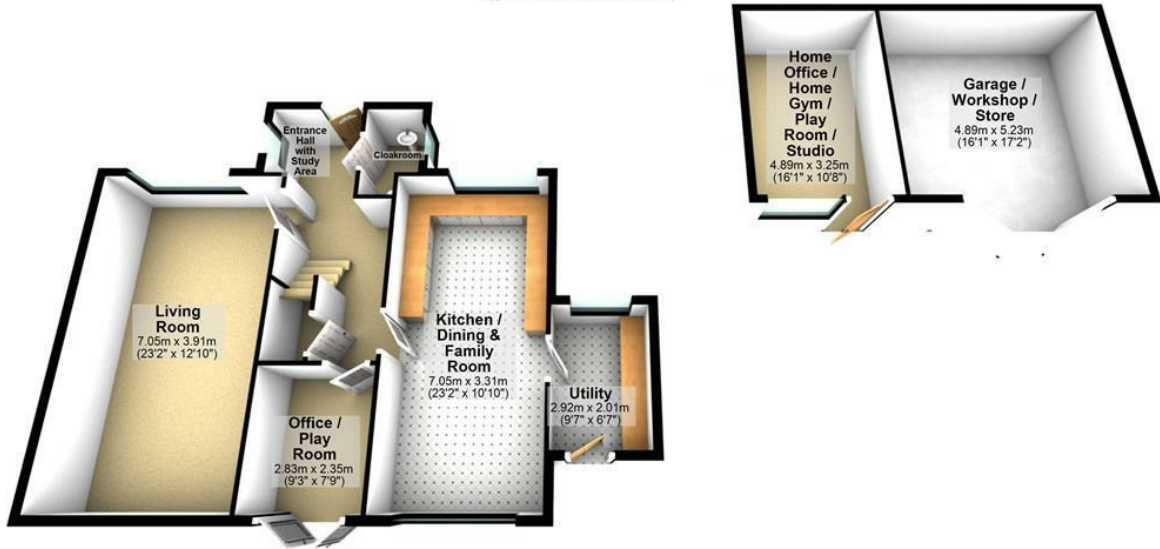


Parking

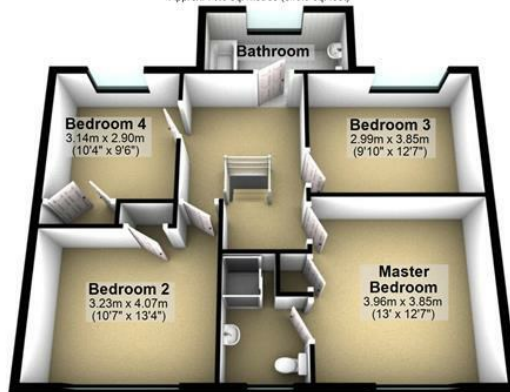
A shared shingle stone access which turns round into the main block pave way, the driveway provides parking for at least six cars, opens into the front and rear gardens.



Ground Floor
Approx. 122.8 sq. metres (1321.9 sq. feet)



First Floor
Approx. 75.3 sq. metres (810.9 sq. feet)



Total area: approx. 198.1 sq. metres (2132.8 sq. feet)

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus)	A		
(81-91)	B		
(69-80)	C		
(52-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	